

Proposed C218yran

**SCHEDULE 1 TO CLAUSE 37.08 ACTIVITY CENTRE ZONE**

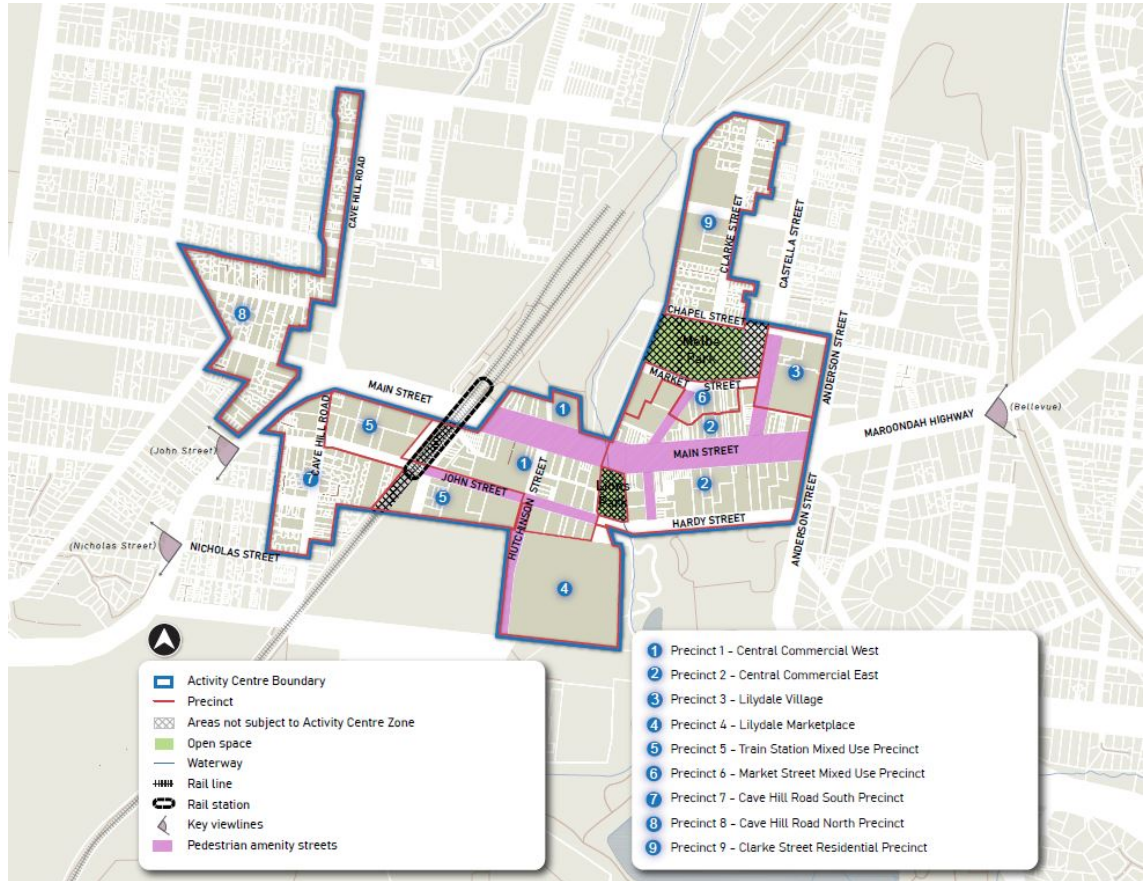
Shown on the planning scheme map as ACZ1

**LILYDALE MAJOR ACTIVITY CENTRE**

**1.0**

**Lilydale Framework Plan**

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**2.0**

**Land use and development objectives to be achieved**

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**Land Use**

- To encourage a mix of land uses in Precincts 1-6 including commercial, office, entertainment, leisure, cultural, community, service and residential uses.
- To encourage higher density residential development, including apartment and mixed-use buildings near parkland and the Lilydale train station.
- Encourage townhouse residential development in Precincts 7- 9.
- To encourage health and community land uses to locate within Precincts 2A-2D, 3, and 6.
- To encourage upper level office land uses in Precincts 1 and 2 along John Street and Hardy Street.

**Built Form**

- To protect long-range views across the town to surrounding hills to retain a sense of place and enclosure that is created by the valley and the Olinda Creek.
- To design development to provide an engaging and attractive arrival in Lilydale at key junctions and entries into the centre.
- To encourage development that provides activated interfaces to the public realm and parkland at ground level and passive surveillance above ground level.

- To ensure that development provides a sympathetic design response that respects heritage buildings, including heritage buildings on adjoining sites.
- To ensure the design of car parking structures and areas have a minimal visual impact on the streetscape and landscape setting.

**Public Realm**

- To ensure that development provides a design response that respects heritage protected trees and streetscapes.
- To provide safe and well-designed urban spaces that respond to public land interfaces.
- To ensure that development protects sunlight access to pedestrian thoroughfares and parkland.

**Landscaping**

- To provide appropriate landscaping in development including canopy trees.
- To encourage development that integrates opportunities for planting on balconies and roof-tops.

**Subdivision pattern**

- To encourage the consolidation of lots to create large lots capable of additional height and density.

**Transport, access and movement**

- To improve vehicle and pedestrian connectivity between the north and south sides of the highway.
- To increase vehicle and pedestrian permeability across large blocks, through improving existing and providing new mid-block laneways and paths.
- To strengthen pedestrian linkages between key pedestrian destinations.

**3.0**

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**Table of uses**

**Section 1 - Permit not required**

Use	Condition
Accommodation (other than Community care accommodation, Corrective institution, Dwelling, Residential Aged Facility, Rooming house, and Small Second Dwelling)	Must be located in Precincts 1, 2, 3, or 4. Any frontage at ground floor level must not exceed 2 metres (other than a bed and breakfast and caretaker’s house).
Art and craft centre	Must be located in Precincts 1, 2, 3, 4 or 6.
Art gallery	Must be located in Precincts 5 or 6.
Automated collection point	Must meet the requirements of Clause 52.13-3 and 52.13-5. The gross floor area of all buildings must not exceed 50 square metres.
Bed and breakfast	Must be located in Precincts 7, 8, and 9. No more than 10 person may be accommodated away from their normal place of residence. At least 1 car parking space must be provided for each 2 persons able to be accommodated away from their normal place of residence.
Child care centre	Must be located in Precincts 1, 2, 3, or 4.

## YARRA RANGES PLANNING SCHEME

Use	Condition
	Any frontage at ground floor level must not exceed 2 metres and access must not be shared with a dwelling (other than a caretaker's house).
Cinema	Must be located in Precincts 1, 2, 3, or 4.
Cinema based entertainment facility	Must be located in Precincts 1, 2, 3, or 4.
Community care accommodation	If located in Precincts 1, 2, 3, or 4, any frontage at ground floor level must not exceed 2 metres.  Must meet the requirements of Clause 52.22-2.
Convenience shop	Must be located in Precincts 1, 2, 3, 4, 5, or 6.  If in Precincts 5 or 6, the leasable floor area must not exceed 150 square metres.
Convenience restaurant	Must be located in Precincts 1, 2, 3, 4, 5 or 6.  If in Precincts 4 or 5, the leasable floor area must not exceed 150 square metres.
Domestic animal husbandry (other than Domestic animal boarding)	Must be in Precincts 5, 6, 7, 8 or 9.  Must be no more than 2 animals.
Dwelling (other than Bed and breakfast)	If located in Precincts 1, 2, 3, or 4, any frontage at ground floor level must not exceed 2 metres.
Education centre (other than Child care centre)	Must be located in Precincts 1, 2, 3, or 4.
Exhibition centre	Must be located in Precincts 1, 2, 3, or 4.
Food and drink premises (other than Convenience restaurant and Take away food premises)	Must be located in Precincts 1, 2, 3, 4, 5 or 6.  If in Precincts 5 or 6, the leasable floor area must not exceed 150 square metres.
Home based business	
Informal outdoor recreation	
Market	Must be located in Precincts 1, 2, 3, or 4.
Medical centre	If located in Precincts 5, 6, 7, 8, or 9, the gross floor area must not exceed 250 square metres.  If located in Precincts 7, 8, or 9, must not require a permit under 52.06-3. The site must adjoin, or have access to, a road in a Transport Zone 2 or a Transport Zone 3.
Museum	Must be located in Precincts 5 or 6.
Office (other than Medical centre)	Must be located in Precincts 1, 2, 3, 4, 5, or 6.  If located in Precincts 5 or 6, the leasable floor area must not exceed 250 square metres.

## YARRA RANGES PLANNING SCHEME

Use	Condition
Place of worship	<p>The gross floor area of all buildings must not exceed 250 square metres.</p> <p>If located in Precincts 7, 8, or 9, the site must adjoin, or have access to, a road in a Transport Zone 2 or a Transport Zone 3.</p>
Plant nursery	Must be located in Precincts 1, 2, 3 or 4.
Racing dog husbandry	<p>Must be located in Precincts 5, 6, 7, 8 or 9.</p> <p>Must be no more than 2 animals.</p>
Railway	
Residential aged care facility	If located in Precincts 1, 2, 3 or 4, any frontage at ground floor level must not exceed 2 metres
Retail premises (other than Food and drink premises, Market, Plant nursery, and Shop)	Must be located in Precincts 1, 2, 3 or 4.
Rooming house	<p>If located in Precincts 1, 2, 3, or 4, any frontage at ground floor level must not exceed 2 metres.</p> <p>Must meet the requirements of Clause 52.23-2.</p>
Shop (other than Adult sex product shop and Convenience Shop)	<p>Must be located in Precincts 1, 2, 3, 4, 5 or 6.</p> <p>If located in Precincts 5 or 6, the leasable floor area must not exceed 150 square metres.</p>
Small second dwelling	<p>Must be located in Precincts 5, 6, 7, 8, or 9.</p> <p>Must be no more than one dwelling existing on the lot.</p> <p>Must be the only small second dwelling on the lot.</p> <p>Reticulated natural gas must not be supplied to the building, or part of a building, used for the small second dwelling.</p>
Take away food premises	<p>Must be located in Precincts 1, 2, 3, 4, 5, or 6.</p> <p>If in Precincts 5 or 6, the leasable floor area must not exceed 150 square metres.</p>
Tramway	
Any use listed in Clause 62.01	Must meet the requirements of Clause 62.01.

### Section 2 - Permit required

Use	Condition
Adult sex product shop	<p>Must be located in Precincts 1, 2, 3, or 4.</p> <p>Must be at least 200 metres (measured by the shortest route reasonable accessible on foot) from a residential zone or, land used for a hospital, primary school or secondary school or land in a Public Acquisition Overlay to be acquired for a hospital, primary school or secondary school).</p>

## YARRA RANGES PLANNING SCHEME

Use	Condition
Agriculture (other than Animal Production, Animal training, Domestic animal husbandry, Horse husbandry, and Racing dog husbandry)	
Amusement parlour	Must be in Precincts 1, 2, 3, 4, 5, or 6.
Animal training	Must be in Precincts 1, 2, 3, 4, 5 or 6.
Car park	If located in Precincts 7, 8 or 9, must be used in association with a land use in Section 1 or 2 of the General Residential Zone.
Car wash	If in Precincts 7, 8, or 9, the site must adjoin, or have access to, a road in a Transport Zone 2 or Transport Zone 3.
Cinema based entertainment facility - if the Section 1 condition is not met	Must be located in Precincts 5 or 6.
Container deposit scheme centre	Must be in Precincts 1, 2, 3, 4, 5, or 6.
Convenience restaurant - if the Section 1 condition is not met	If located in Precincts 7, 8, or 9, the site must adjoin, or have access to, a road in a Transport Zone 2 or a Transport Zone 3.
Domestic animal boarding	Must be in Precincts 1, 2, 3, 4, 5, or 6.
Domestic animal husbandry (other than Domestic animal boarding) - if the Section 1 condition is not met	In Precincts 5, 6, 7, 8, or 9 must be no more than 5 animals.
Grazing animal production	
Horse husbandry	Must be in Precincts 1, 2, 3, 4, 5 or 6.
Industry (other than Automated collection point, Car wash, Container deposit scheme centre, Materials recycling, and Transfer Station)	Must be in Precincts 1, 2, 3, 4, 5 or 6. Must not be for a purpose listed in the table to Clause 53.10.
Leisure and recreation (other than Informal outdoor recreation, Major sports and recreation facility, and Motor racing track)	
Materials recycling	Must be in Precincts 1, 2, 3, or 4.
Major sports and recreation facility	Must be in Precincts 5, 6, 7, 8, or 9.
Motor racing track	Must be in Precincts 5 or 6.
Nightclub	Must be located in Precincts 1, 2, 3, 4, 5 or 6.
Office (other than Medical Centre)	If located in Precincts 7, 8, or 9, the use must be associated with a use or development to which clause 53.23 (Significant residential development with affordable housing) applies.

## YARRA RANGES PLANNING SCHEME

Use	Condition
Place of assembly (other than Amusement parlour, Art Gallery, Cinema, Cinema based entertainment facility, Exhibition centre, Museum, Nightclub, and Place of Worship)	
Retail premises (other than Food and drink premises, Market, Plant nursery, and Shop) - if the Section 1 condition is not met.	In Precincts 7, 8, or 9, the use must be associated with a use or development to which clause 53.23 (Significant residential development with affordable housing) applies.
Salesyard	Must be located in Precincts 1, 2, 3, 4, 5, or 6.
Service station	<p>If located in Precincts 7, 8, or 9 the site must either:</p> <ul style="list-style-type: none"> <li>· Adjoin a commercial zone or industrial zone.</li> <li>· Adjoin, or have access to, a road in a Transport Zone 2 or a Transport Zone 3.</li> </ul> <p>If located in Precincts 7, 8, or 9, the site must not exceed either:</p> <ul style="list-style-type: none"> <li>· 3000 square metres.</li> <li>· 3600 square metres if it adjoins on two boundaries a road in a Transport Zone 2 or a Transport Zone 3.</li> </ul>
Shop (other than Adult sex product shop and Convenience Shop) - if the Section 1 condition is not met.	In Precincts 7, 8, or 9, the use must be associated with a use or development to which clause 53.23 (Significant residential development with affordable housing) applies.
Store	If located in Precincts 7, 8, or 9, must be in a building, not a dwelling, and used to store equipment, goods, or motor vehicles used in conjunction with the occupation of a resident of a dwelling on the lot.
Take away food premises - if the Section 1 condition is not met	If located in Precincts 7, 8, or 9, the site must adjoin, or have access to, a road in a Transport Zone 2 or a Transport Zone 3.
Transfer Station (other than Automated collection point, and Container deposit scheme centre)	Must be located in Precincts 1, 2, 3, or 4.
Transport terminal	Must be located in Precincts 1, 2, 3, 4, 5, or 6.
Utility installation	If located in Precincts 1, 2, 3, 4, 5, or 6, must not be for a purpose listed in the table to Clause 53.10.
Warehouse (other than Store)	<p>Must be located in Precincts 1, 2, 3, 4, 5 or 6.</p> <p>Must not be for a purpose listed in the table to Clause 53.10.</p>
Any other use not in Section 1 or 3	

### Section 3 – Prohibited

Use
Animal Production (other than Grazing animal production)

**Use**

Corrective institution

Extractive industry

Small second dwelling - if the Section 1 condition is not met

**4.0 Centre-wide provisions**

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**4.1 Use of land**

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A permit is not required to use land for the purpose of Local Government providing the use is carried out by, or on behalf of, the public land manager.

An application for the use of land for industry, service station or warehouse in Precincts 5 and 6 should not adversely affect the amenity of the neighbourhood, including through:

- The transport of materials or good to and from the land.
- The appearance of any stored materials or goods.
- Traffic generated by the use.
- Emissions from the land.

**4.2 Subdivision**

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In Precincts 5, 6, 7, 8 and 9, an application to subdivide land, other than an application to subdivide land into lots each containing an existing dwelling or car parking space, must meet the requirements of Clause 56 and:

- Must meet all of the objectives included in the clauses specified in the following table.
- Should meet all of the standards included in the clauses specified in the following table.

**Class of subdivision**

60 or more lots	All except Clause 56.03-5.
16-59 lots	All except Clause 56.03-1 to 56.03-3, 56.03-5, 56.06-1, and 56.06-3.
3-15 lots	All except Clauses 56.02-1, 56.03-1 to 56.03-4, 56.05-2, 56.06-1, 56.06-3 and 56.06-6.
2 lots	Clauses 56.03-5, 56.04-2, 56.04-3, 56.04-5, 56.06-8 to 56.09-2.

**4.3 Buildings and works**

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No permit is required to construct a building or construct or carry out works for the following:

- In Precincts 1, 2, 3 and 4 for:
  - The installation of an automatic teller machine.
  - An alteration to an existing building façade provided:

- The alteration does not include the installation of an external roller shutter.
- At least 80 per cent of the building façade at ground level is maintained as an entry or window with clear glazing.

- An awning that projects over a road if it is authorised by the relevant public land manager.

In Precincts 5, 6, 7, 8 and 9, to:

- Construct or extend one dwelling on a lot greater than 300 square metres.
- Construct or carry out works normal to a dwelling.
- Construct or extend an out-building (other than a garage or carport) on a lot provided the gross floor area of the out-building does not exceed 10 square metres and the maximum building height is not more than 3 metres above ground level.
- Make structural changes to a dwelling provided the size of the dwelling is not increased or the number of dwellings is not increased.

In Precincts 5, 6, 7, 8 and 9, on a lot less than 300 square metres, a development must meet the objectives and should meet the standards of Clause 54 if it proposes to:

- Construct or extend one dwelling; or
- Construct or extend a front fence within 3 metres of a street if the fence is associated with one dwelling.

In Precincts 5, 6, 7, 8 and 9, a development must meet the objectives, and should meet the standards, for the Clauses specified in the following table, if it proposes to:

- Construct a dwelling if there is at least one dwelling existing on the lot.
- Construct two or more dwellings on a lot.
- Extend a dwelling if there are two or more dwellings on a lot.
- Construct or extend a dwelling on common property.
- Construct or extend a residential building.

This does not apply to a development of five or more stories, excluding a basement.

**Objectives and standards to be met**

Clauses 55.03-5, 55.03-7, 55.03-9, 55.03-10, 55.04-3, 55.04-4, 55.04-5, 55.04-6, 55.04-7, 55.04-8, 55.05-1, 55.05-2, 55.05-3, 55.05-5, 55.05-6, 55.06-1, 55.06-3, 55.06-4.

**4.4 Design and development**

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In the operation of this clause:

- The preferred building heights in the Precinct Provisions to this Clause provide for higher floor heights to allow for other design elements usual to buildings (e.g. parapets, railings) based on:
  - Ground floor height: 4 metres.
  - Level 1 and above: 3.5 metres per level.
- A basement is not a storey for the purposes of calculating the number of storeys contained in a building.



- For the preferred maximum building heights specified in Clause 5.0, a building may exceed the maximum building height by up to 1 metre if the slope of the natural ground level, measured at any cross section of the site of the building wider than 8 metres, is greater than 2.5 degrees.
- A street wall is the wall height of a building along the frontage measured from ground level at the frontage of a site and includes a parapet or balustrade.

### **Interface Setback Requirements**

- Interface types are shown on the Precinct maps.
- Building setbacks are specified in the interface setback requirements in Part 5: Precinct Provisions.

The following design and development requirements apply to an application to construct a building or construct or carry out works:

### **Development above preferred heights**

Proposals for development of identified key development sites, as identified in Part 5: Precinct Provisions, that exceed the indicative heights must provide a site-specific design proposal which:

- Demonstrates that proposed buildings will not interrupt long views across the Lilydale valley from key vantage points (as shown in the Framework Plan).
- Sets back buildings from boundaries so that they do not adversely shadow the public realm or environment.
- Uses building articulation and/or green building facades and rooftops to assist built form to sit sympathetically within landscape views.
- Demonstrates that new buildings will maintain a pedestrian scale along pedestrian amenity streets (as shown in the Framework Plan). On these streets, street wall heights should be limited to no more than half the width of any adjoining road reserve.

### **Overshadowing Requirements**

Buildings and works (except for awnings) should avoid overshadowing:

- The southern footpath of Main Street between 10am and 2pm as measured on 22 June.
- The width of the road reserves of John Street, Hardy Street, Clarke Street, Castella Street, and Anderson Street by more than an average of 50% between 10am and 2pm as measured on 22 September.
- The total area of Lions Park by more than 30% between 10am and 2pm as measured on 22 June.
- The Olinda Creek Parklands (other than Lions Park) by more than 25 metres between 10am and 2pm as measured on 22 June.
- The Lilydale High School by more than 25 metres between 10am and 2pm as measured on 22 September.

### **Address to the public realm**

In Precincts 1-6, development should be designed to:

- Provide a ground-level frontage with minimum 70 percent clear glazing.
- Locate the ground floor entries of new buildings at the same level as the existing footpath.
- Sleeve upper-level car parking areas with occupiable floor areas to maintain activation of street frontages at upper levels.
- Locate offices and other commercial uses with customer service and ancillary activities for pedestrian interest and interaction at ground floor level.

In all Precincts, development should be designed to:

- Avoid large blank walls, screens or uniform front facades along streets.
- Include balconies to enhance passive surveillance of the public realm, including rear laneways.
- Allow balconies to encroach into upper-level setbacks.
- Screen lift cores and service areas or conceal these from view of streets, surrounding public spaces and buildings.
- Screen plant machinery and areas for storage, loading and bins from public view to the maximum extent possible.

### **Open space and landscaping**

In Precincts 1-6, developments should be designed to:

- Incorporate planting along building edges to allow views of planting from street level, including along balconies and terraces.
- Balconies on building set-back levels should provide for more substantial greenery elements, such as small trees.
- In developments with a residential component, provide outdoor amenity spaces, such as rooftop gardens, equivalent to 20 percent of the overall site area, and located to minimise impacts on views.
- Encourage use of green building facades and roof tops that sit sympathetically within landscape view-lines.

### **Scale of development**

- Avoid the under-development of land where a greater intensity of development is promoted.
- Where rooftop greening and amenity areas cannot be achieved in a development, the maximum height of a building cannot exceed 5 storeys (unless Part 5 Precinct Requirements specifies a lower height), in order to maintain views.

### **Built form**

#### *Entrances*

In Precincts 1-6, developments should be designed to:

- Allow for main entrances and lobbies to buildings with a residential component from adjoining streets, rather than from laneways.
- Locate car parking access to the rear of buildings from service lanes.

### **Corner sites and weather protection features**

In Precincts 1-6, developments should be designed to:

- Chamfer the corner of buildings to improve pedestrian movement, with use of landscaping and paving materials to add prominence to these locations, where a development adjoins two pedestrian amenity streets (as shown in the Framework Plan).
- Give additional prominence to the corners of William Street East and William Street West with Main Street and John Street in order to create a sense of arrival to the train station precinct, by positioning awnings at level one to create a double-level corner feature with allowance for larger canopy trees and use of additional urban design features.
- Incorporate continuous weather protection measures (verandas, shade cloths, or canopies) for properties adjoining identified pedestrian amenity streets (see Framework Plan).

### **Building setbacks to adjoining buildings**

In Precincts 1-6, include building separation above the street wall height between adjoining buildings (on either adjoining lots of the same lot) to maximise gaps between buildings and minimise the potential for direct overlooking by incorporating the following setbacks:

- A 9 metre setback (4.5 metre setbacks for each building that total 9 metres).
- A zero setback along one side boundary where a building abuts or would abut another approved building.

Development should be designed to respond to sloping topography and minimise the need for cut and fill.

### **Signs**

Signage should:

- Be designed to be proportional to the size and form of the building.
- Be contained within the shopfront and main structural elements of a building.
- Not cover more than 20 percent of the window area on a building frontage.

### **Vehicle access and parking areas**

Vehicle access and parking areas should:

- Separate vehicle access points from pedestrian access points.
- Avoid parking between the front of a building and the street.
- Be shared between day and night-time demand where a building contains a mix of uses.
- Not provide tandem spaces.
- Naturally ventilate basement car parks where possible.

### **Loading and rubbish collection facilities**

Loading and rubbish collection facilities should:

- Be designed to mitigate their negative visual impacts through screening and the integration of facilities within the design of buildings.
- Incorporate measures for universal design and access.

### **Mid-block vehicle and pedestrian connections**

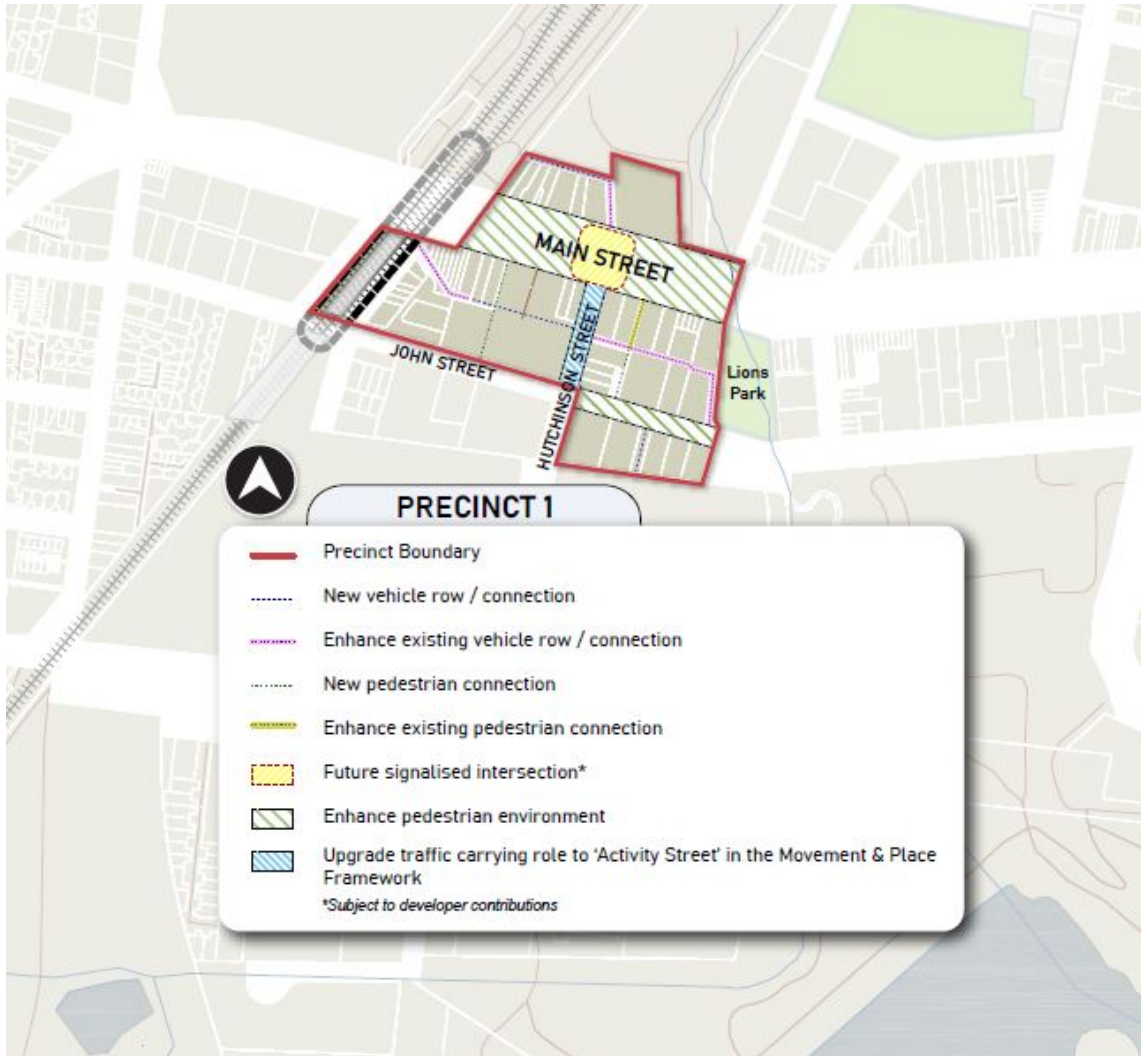
Provide new mid-block laneways and connections, and upgrades to existing mid-block connections, to provide for improved parking and loading access, and for permeability between mid-rise buildings.

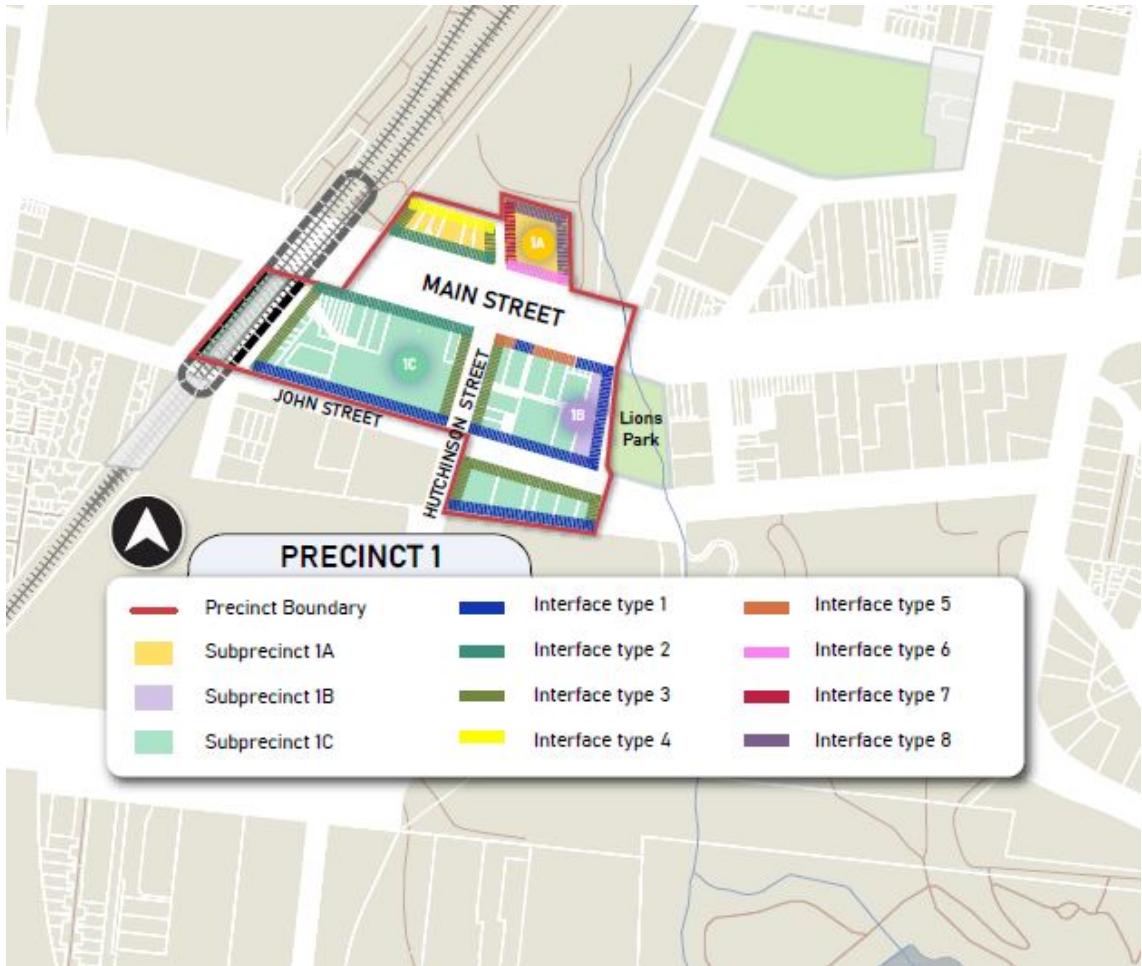
**5.0 Precinct provisions**

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**5.1 Precinct 1 – Central commercial west**

**5.1-1 Precinct map**





**5.1-2 Precinct objectives**

- To encourage walking and cycling to the Lilydale train station through upgraded and connected active streetscapes and laneways.
- To support land uses that provide day and night activation and diversify the local economy.
- To improve pedestrian connections from Main Street to the Lilydale Market Place.
- To encourage ground level retail and pedestrian-based food and drink activation with upper-level residential development facing Main Street, William Street East, and the Olinda Creek Reserve (Lions Park).
- To encourage ground level retail land uses with upper-level offices facing John Street.

**5.1-3 Precinct requirements**

Building Heights

Sub-precinct	Preferred height
1A	21.5 metres (6 storeys) Limit podium height for buildings fronting Main Street to two stories.
1B	14.5 metres (4 storeys)
1C	21.5 metres (6 storeys)

**Interface Setback**

Interface type	Ground level setback (minimum)	Street wall/podium height	Upper levels setback above podium/street wall (minimum)
1	0m	7.5m (2 storeys)	Stories 3 and 4 setback 6m from front boundary. Stories 5 and 6 setback 9m from front boundary.
2	0m	7.5m (2 storeys)	Stories 3-6 setback 5m from front boundary.
3	0m	7.5m (2 storeys)	Stories 3-6 setback 3m from front boundary.
4	0m	NA	All levels with no setback
5	0m	7.5m (2 storeys)	Stories 3 and 4 setback 6m from front boundary. Stories 5 and 6 hidden from view from the footpath on the opposite side of the street.
6	0m	Consistent with existing height of heritage building	Stories 3-6 setback 6m from the heritage building or the front boundary, whichever is closer.
7	0m	11m (3 stories)	Stories 4-6 setback 5m from boundary
8	0m	11m (3 stories)	Stories 4-6 setback 5m from boundary

**5.1-4**

**Precinct guidelines**

**Sub-precinct 1A**

Design high density development near the Lilydale train station to complement the built scale of the train station.

Design development to provide ground level activation and upper-level passive surveillance to adjoining parkland.

Design development to provide improved connections, views and interfaces to community facilities and open space, including to the Lilydale heritage railway station and car park.

Retain the ability for a future road that directly connects the Lilydale Recreation Reserve to a future signalised intersection at Main Street and Hutchinson Street.

Support development at the Olinda Hotel site that:

- Does not visually overwhelm the heritage street wall to Main Street;
- Retains the visual prominence of the heritage building when viewed from eye level in Main Street where upper levels should not occupy more than one quarter of the view of the building from the opposite side of the street.
- Is visually distinct from the heritage building, through upper-level recession setback from the front, sides and rear, and use of distinct lightweight materials.
- Provides active edges to all interfaces, with car parking sleeved behind commercial or residential uses.

**Sub-precinct 1B**

Design development to face the parkland to increase passive surveillance.

Encourage the use of natural materials to complement the public realm.

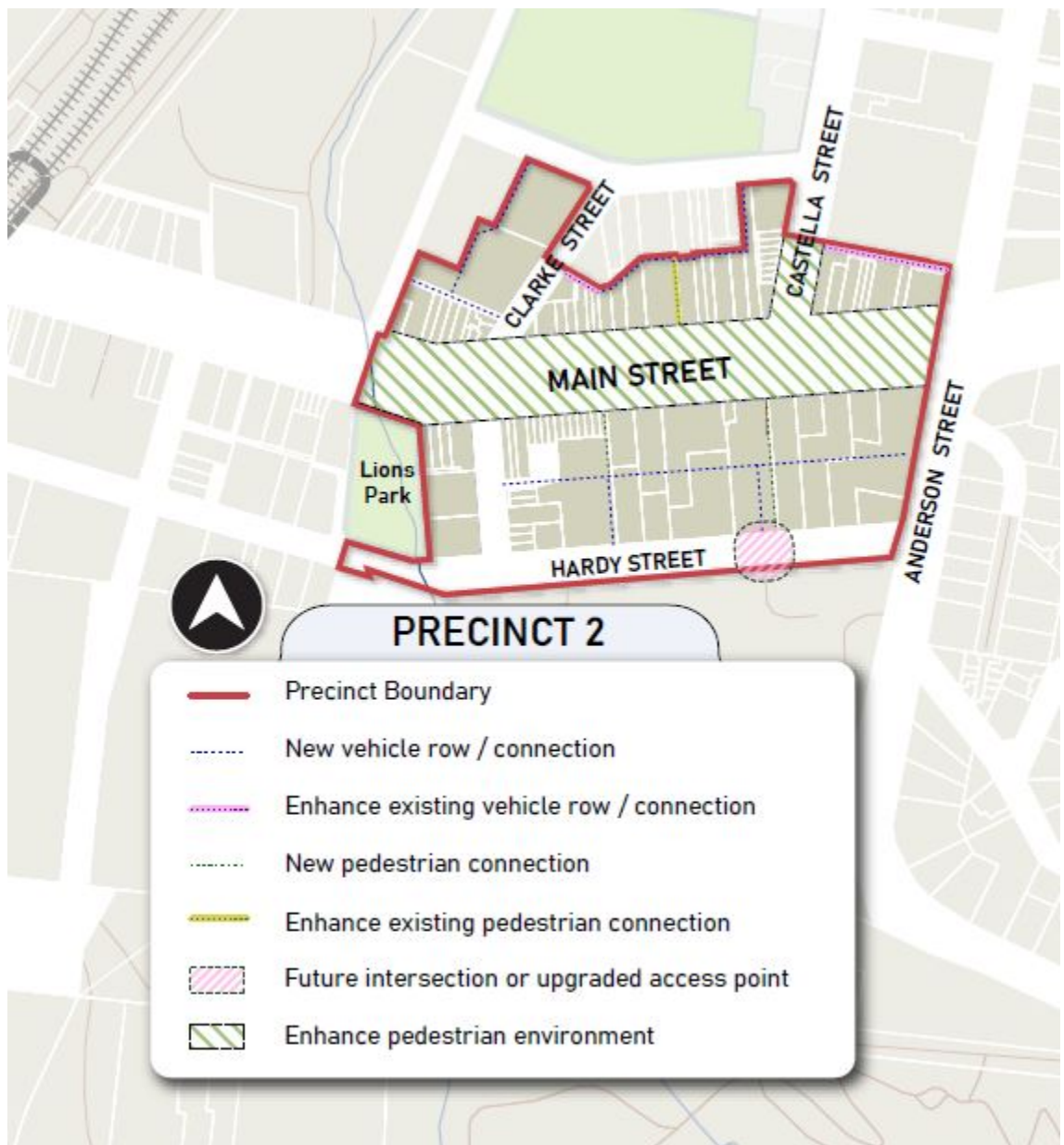
**Sub-precinct 1C**

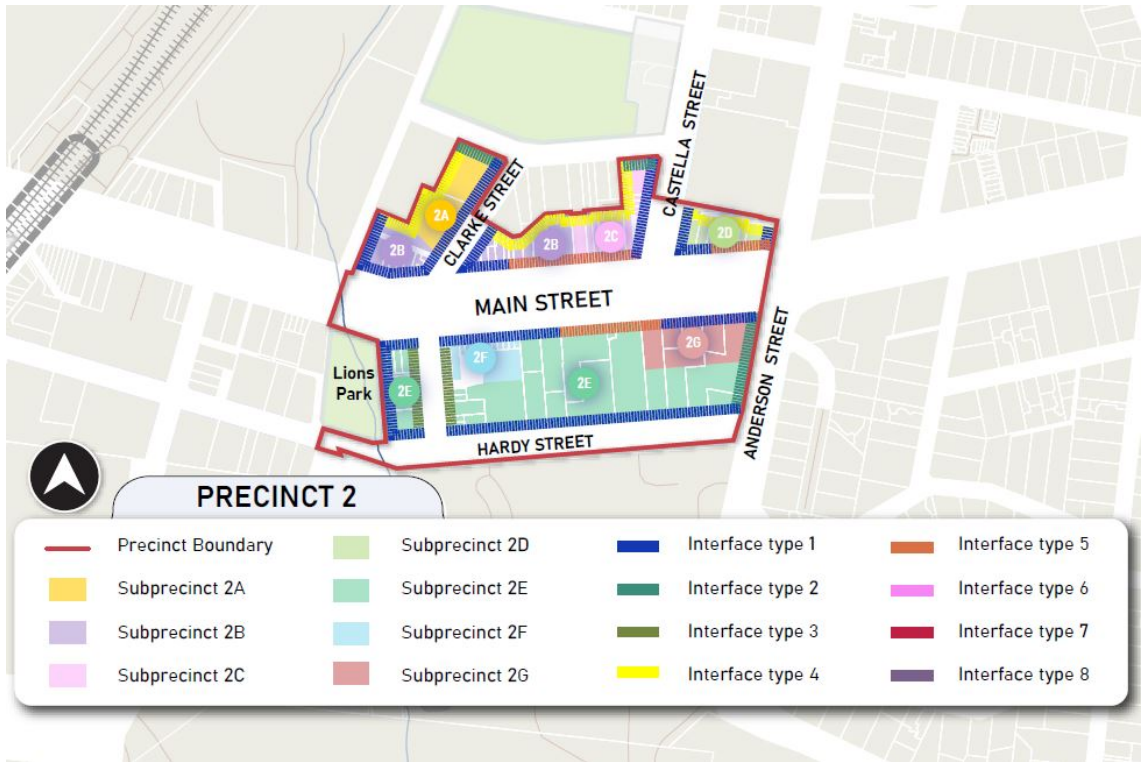
Support passive ground level frontages facing Hutchinson Street, which consider the impact of traffic, noise and safety along this future major road.

Design development to provide opportunities for sunlight access into the road reserve of John Street to support its role as a pedestrian thoroughfare.

**5.2 Precinct 2 – Central commercial east**

**5.2-1 Precinct map**





**5.2-2 Precinct objectives**

- To improve pedestrian connectivity from Main Street to Melba Park to the north and the civic and community land uses south of Hardy Street.
- In Precincts 2A-2D, to encourage private and public community and health land uses.
- In Precincts 2A-2D, to encourage ground level retail land uses with upper-level residential facing Main Street, Clarke Street, Castella Street, and the Olinda Creek Reserve (Lions Park).
- Encourage ground level retail land uses with upper-level offices facing Hardy Street.

**5.2-3 Precinct requirements**

Building Heights

Sub-precinct	Preferred height
2A	14.5 metres (4 storeys)
2B	21.5 metres (6 storeys)
2C	18 metres (5 storeys)
2D	14.5 metres (4 storeys)
2E	14.5 metres (4 storeys)
2F	18 metres (5 storeys)
2G	18 metres (5 storeys)

Interface Setbacks



Interface type	Ground level setback (minimum)	Street wall/podium height	Upper levels setback above podium/street wall (minimum)
1	0m	7.5m (2 storeys)	Stories 3 and 4 setback 6m from front boundary. Stories 5 and 6 setback 9m from front boundary.
2	0m	7.5m (2 storeys)	Stories 3-6 setback 5m from front boundary.
3	0m	7.5m (2 storeys)	Stories 3-6 setback 3m from front boundary.
4	0m	NA	All levels with no setback
5	0m	7.5m (2 storeys)	Stories 3 and 4 setback 6m from front boundary. Stories 5 and 6 hidden from view from the footpath on the opposite side of the street.

**5.2-4**

**Precinct guidelines**

**Sub-precincts 2A-2D**

Encourage retail land uses along Clarke Street and Castella Street to attract pedestrian activity towards Melba Park from Main Street.

Improve the Market Street interface to Melba Park by ground level retail or commercial activation.

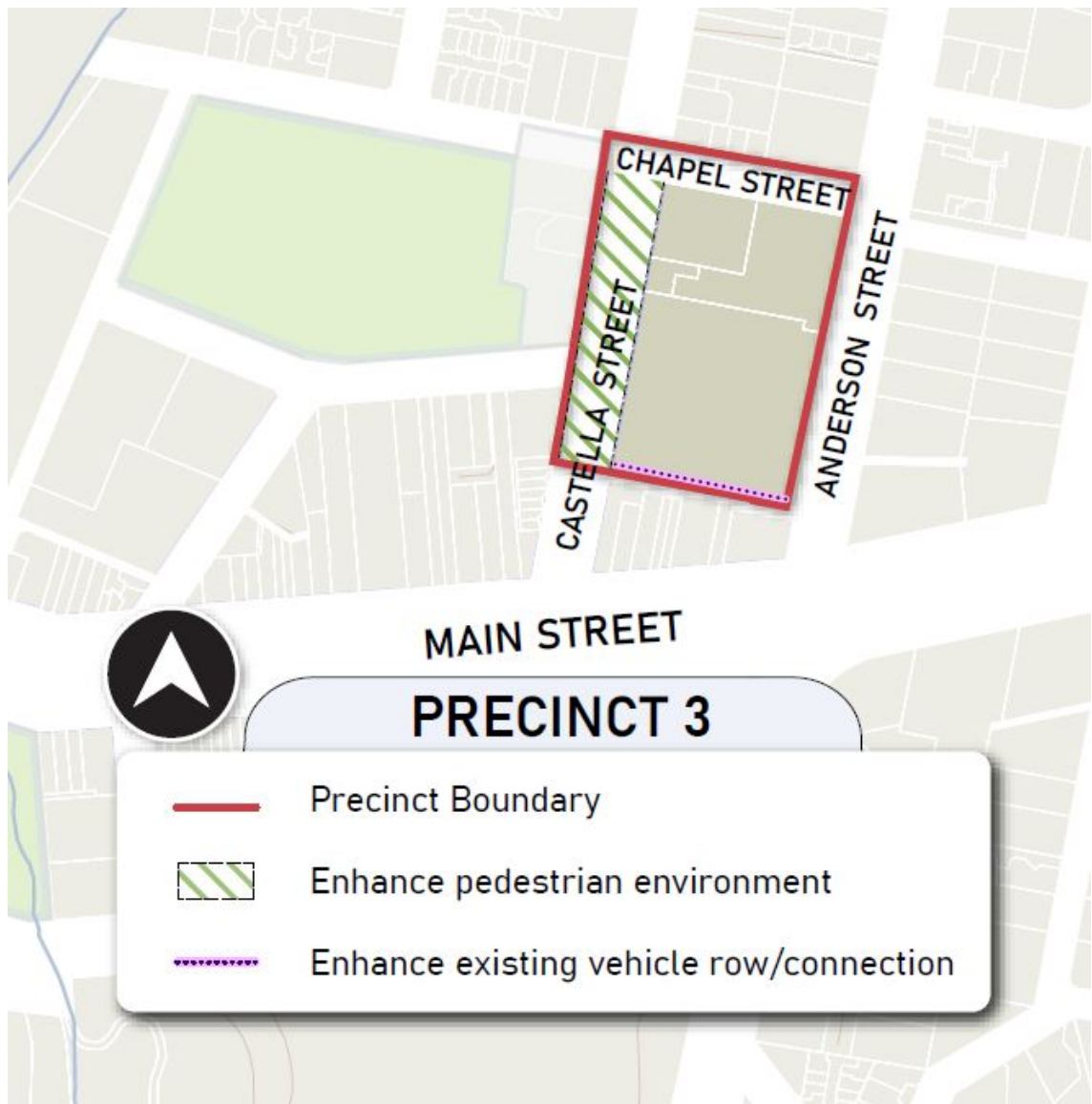
**Sub-precincts 2E-2G**

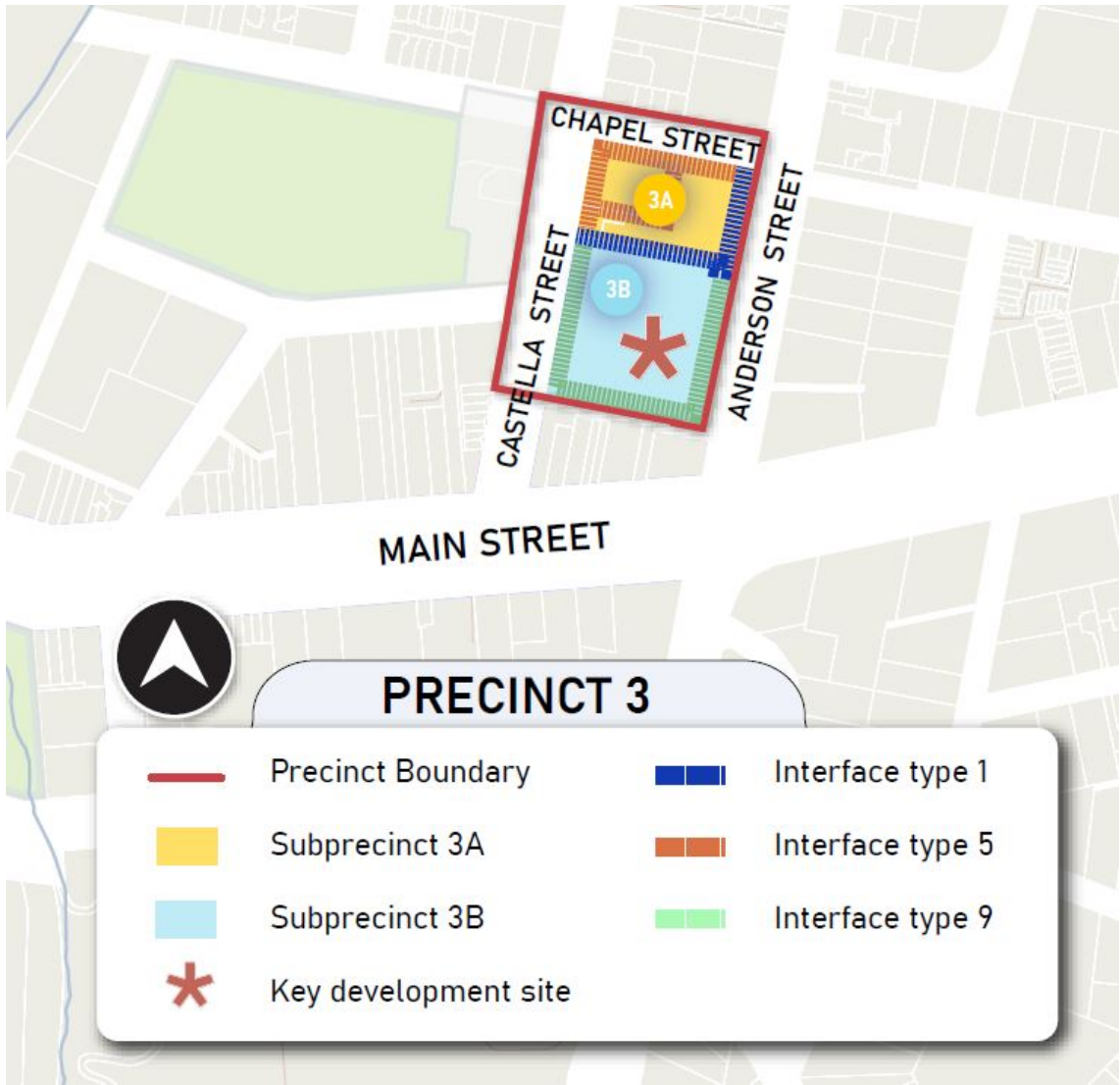
In Precinct 2E, buildings between Clarke Street and Olinda Creek should provide activation and passive surveillance to both interfaces.

Buildings facing the Lions Park should incorporate natural materials.

5.3 Precinct 3 – Lilydale Village

5.3-1 Precinct map





**5.3-2 Precinct objectives**

- To establish Precinct 3 as a focus for community, health and commercial land uses.
- To support redevelopment of Sub-precinct 3B with high residential densities in new multi-level mixed use buildings, with active retail frontages, that respond to the existing open space and streetscapes.
- In Subprecinct 3A, to encourage ground level retail land uses with upper-level offices.

**5.3-3 Precinct requirements**

Building Heights

Sub-precinct	Preferred height
3A	11 metres (3 storeys)

**Precinct 3B**

Height and interface setbacks will be subject to a site-specific design response. Indicative heights of 21.5m (6 storeys).

Interface Setbacks

## YARRA RANGES PLANNING SCHEME

Interface type	Ground level setback (minimum)	Street wall/podium height	Upper levels setback above podium/street wall (minimum)
1	0m	7.5m (2 storeys)	Stories 3 and 4 setback 6m from front boundary. Stories 5 and 6 setback 9m from front boundary.
5	0m	7.5m (2 storeys)	Stories 3 and 4 setback 6m from front boundary. Stories 5 and 6 hidden from view from the footpath on the opposite side of the street.
9	0m	11m (3 stories)	Indicative preferred height of 6 stories, however this is nominated as a key development site. Height and setbacks will be subject to a site specific design response.

### 5.3-4

#### **Precinct guidelines**

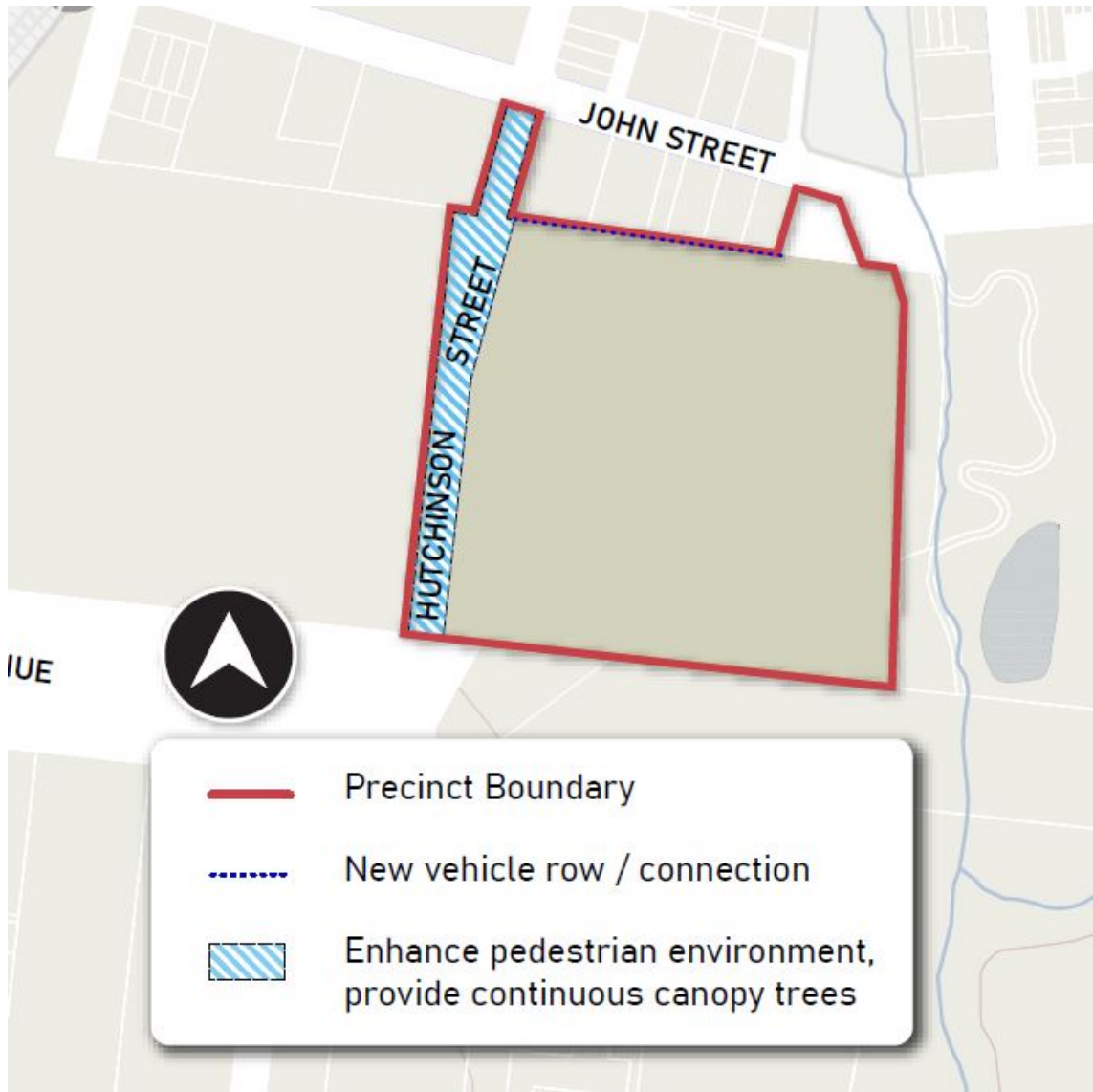
##### **Sub precincts 3B**

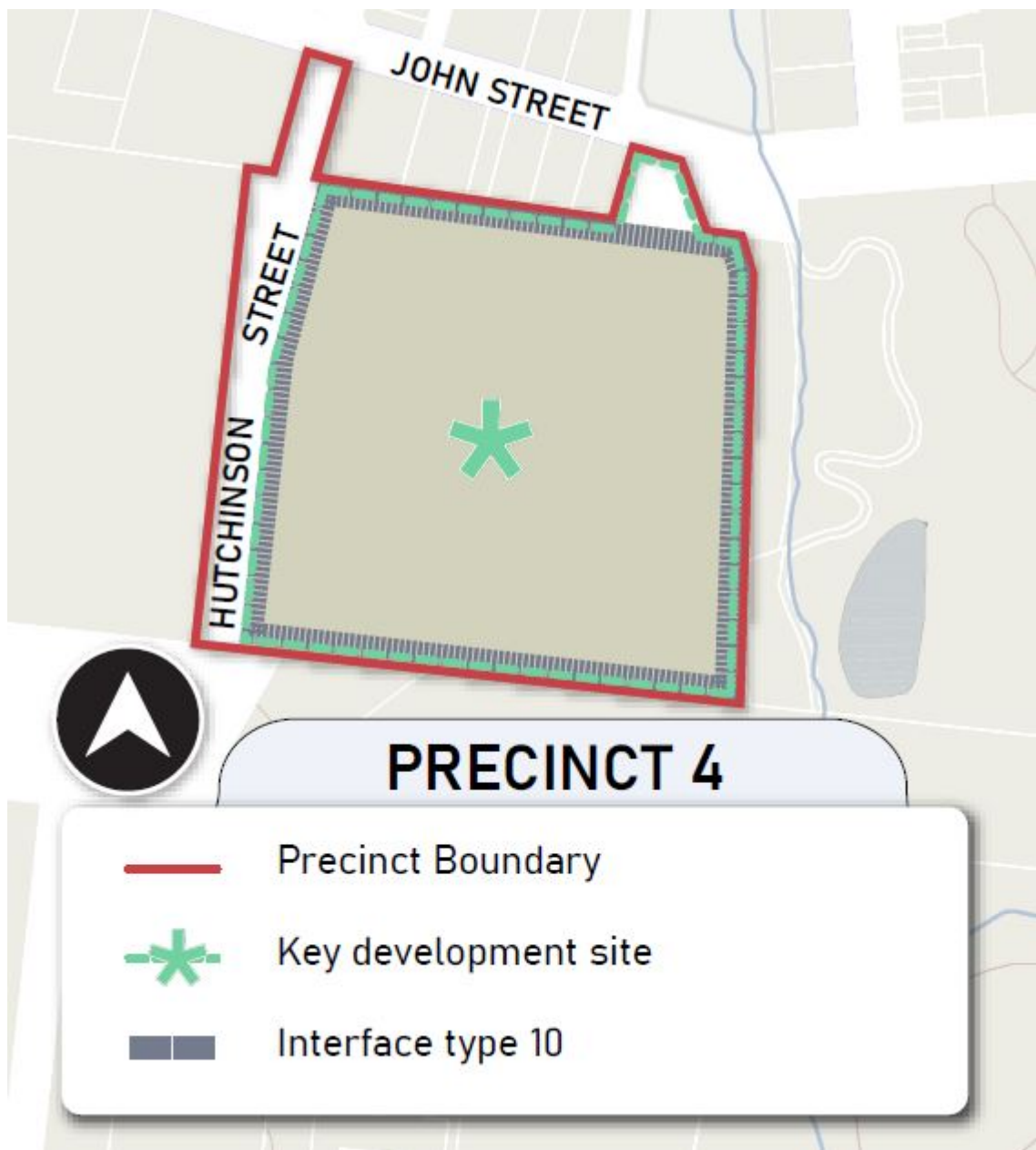
Locate retail land uses along Castella Street towards Melba Park from Main Street to encourage pedestrian activity.

Design development to consolidate built form at the centre of the land holding transitioning to lower-rise interfaces.

5.4 Precinct 4 – Lilydale Marketplace

5.4-1 Precinct map





**5.4-2 Precinct objectives**

- To support the redevelopment of the Lilydale Marketplace with commercial and residential land uses.
- To support higher density residential development in new multi-level mixed use buildings that respond to the proximity to the interface with the Olinda Creek, and the Lilydale train station.
- To support strengthened visual and physical connections to Main Street and improved pedestrian connectivity.
- To support the provision of a multi-level car park as part of redevelopment.

**5.4-3 Precinct requirements**

Building Heights and Interface Setbacks

Height and setbacks will be subject to a site-specific design response. Indicative heights of:

- 14.5m (4 storeys) for the interface with the Olinda Creek parkland.
- 21.5m (6 storeys) for other parts of the site.

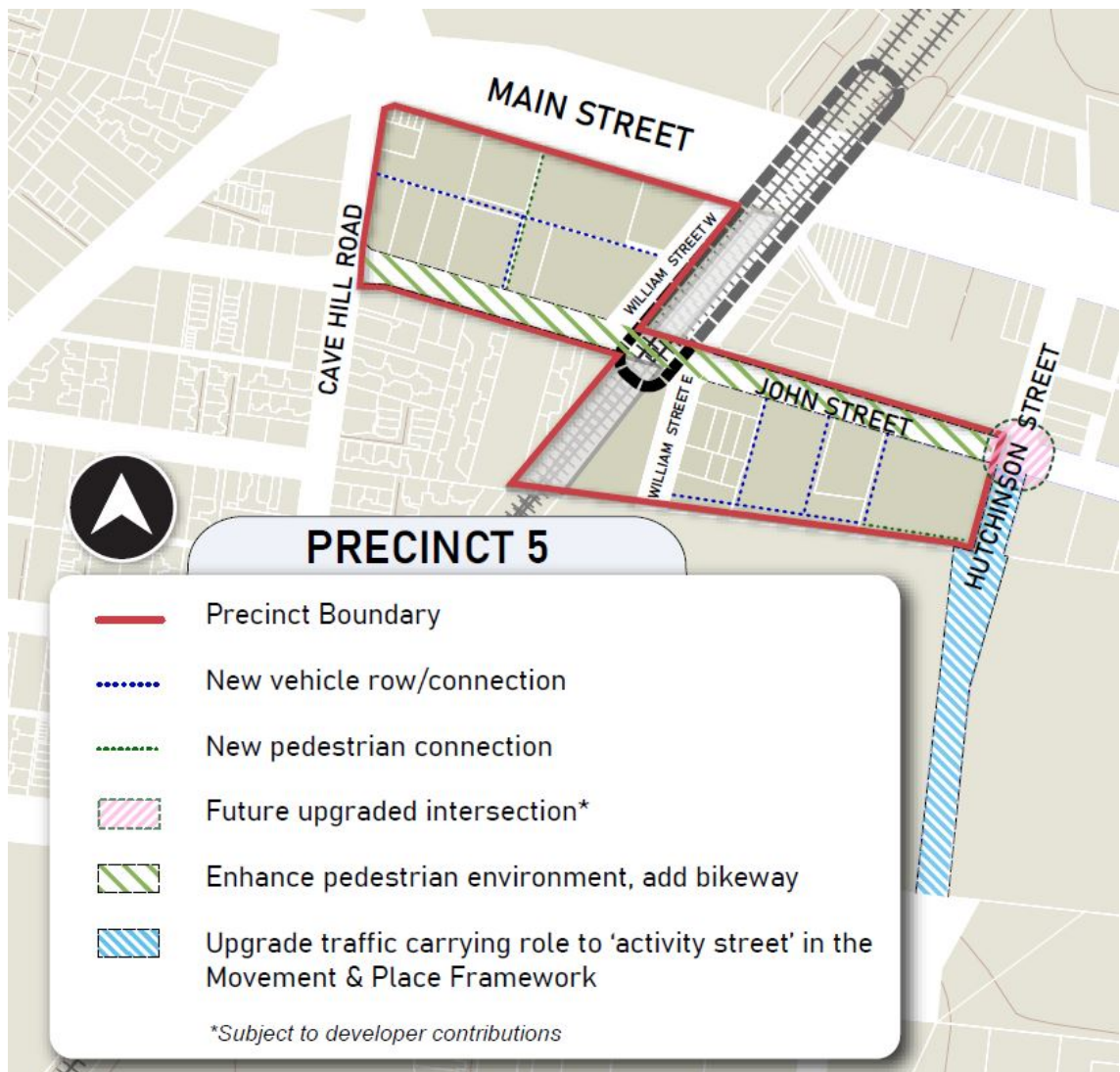
**5.4-4 Precinct guidelines**

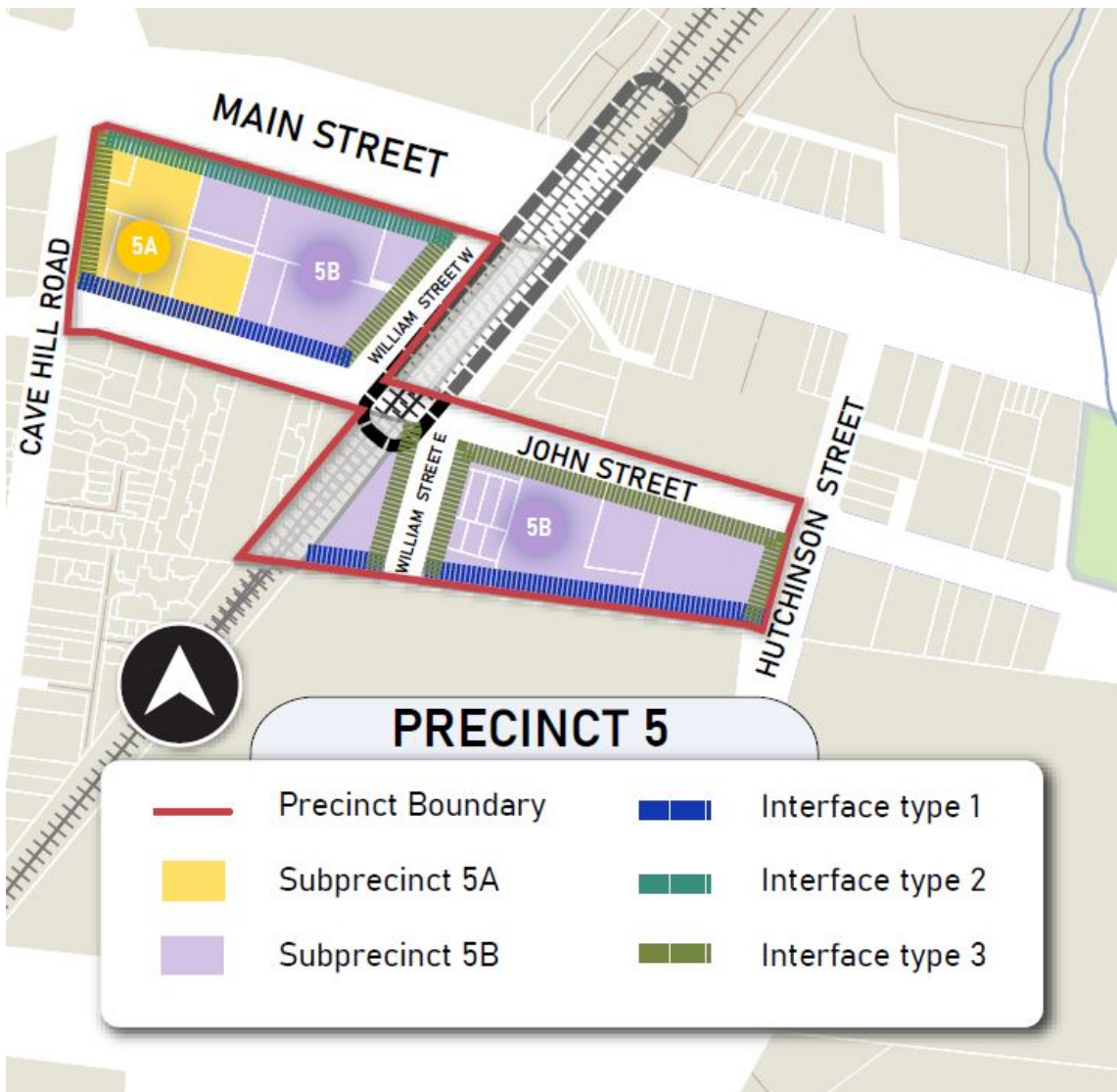
Set back building heights progressively to maximise sunlight to the Olinda Creek Reserve.

Design development to consolidate built form at the centre of the land holding transitioning to lower-rise interfaces.

**5.5 Precinct 5 – Train Station Mixed Use Precinct**

**5.5-1 Precinct map**





**5.5-2 Precinct objectives**

- To create a well-connected precinct that supports walking and cycling to the Lilydale train station through upgraded active streetscapes and laneways.
- To support land uses that provide day and night activation and diversify the local economy with a mix of land uses including retail, accommodation, offices, and commercial uses.
- To support increased residential density in the form of mid-rise mixed use and apartment buildings that consider the amenity and built scale of the Lilydale train station.
- To protect the Lilydale High School from inappropriate overshadowing caused by development.
- To support retail land uses to activate John Street at ground level, and improve the connection from the Lilydale Marketplace (Precinct 4) to the Main Street and train station (Precinct 1).

**5.5-3 Precinct requirements**

Building Heights

Sub-precinct	Preferred height
5A	14.5m (4 storeys)



Sub-precinct	Preferred height
5B	21.5m (6 storeys).

Interface Setbacks

Interface type	Ground level setback (minimum)	Street wall/podium height	Upper levels setback above podium/street wall (minimum)
1	0m	7.5m (2 storeys)	Stories 3 and 4 setback 6m from front boundary. Stories 5 and 6 setback 9m from front boundary.
2	0m	7.5m (2 storeys)	Stories 3-6 setback 5m from front boundary.
3	0m	7.5m (2 storeys)	Stories 3-6 setback 3m from front boundary.

**5.5-4 Precinct guidelines**

Support passive ground level frontages facing Hutchinson Street that consider the impact of traffic noise and safety along this future major road.

Provide a public road interface between Lilydale High School and new mid-rise buildings in order to:

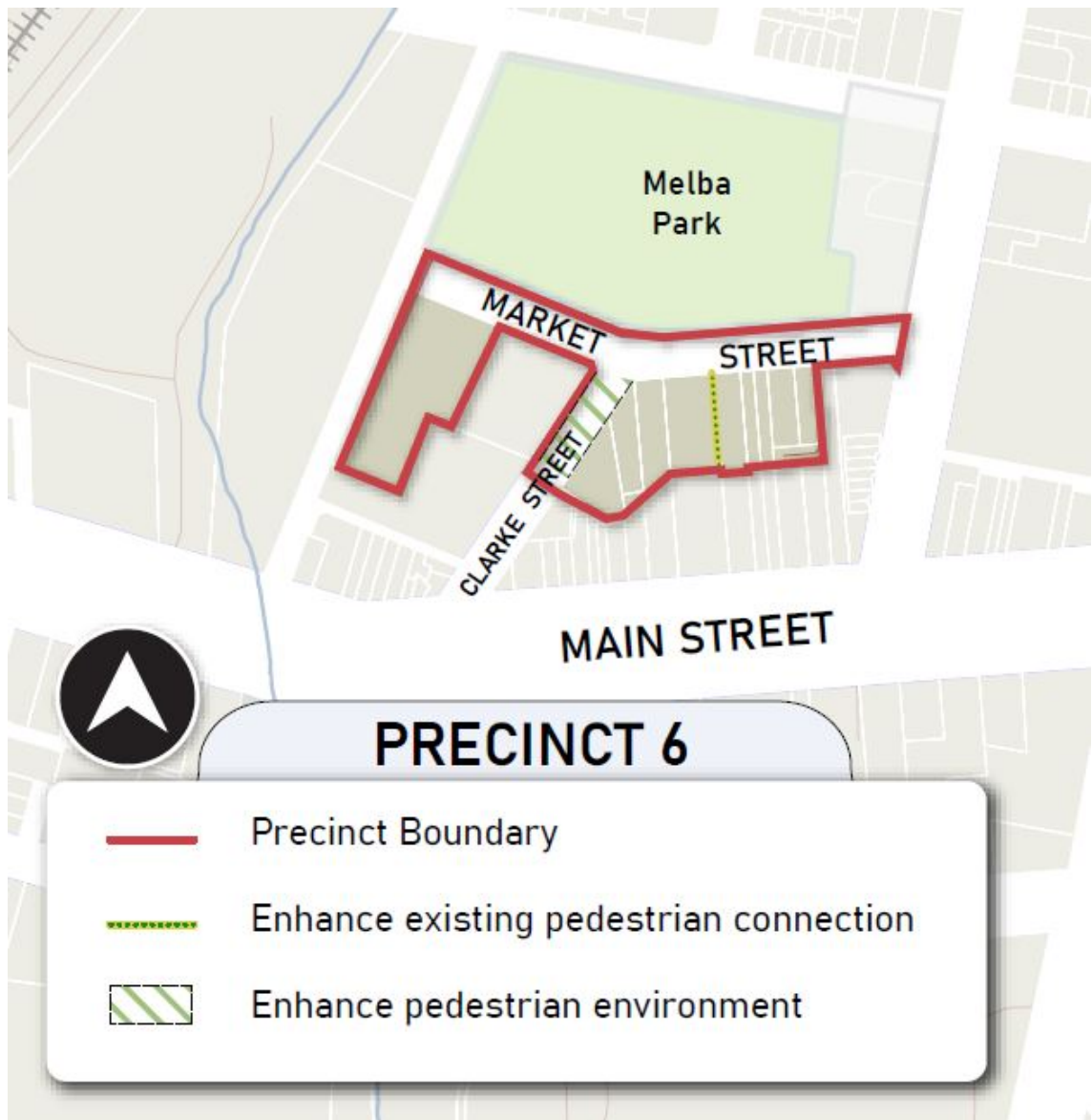
- mitigate overshadowing and built form impacts on the Lilydale High School from new mid-rise buildings
- improve future access and parking opportunities.

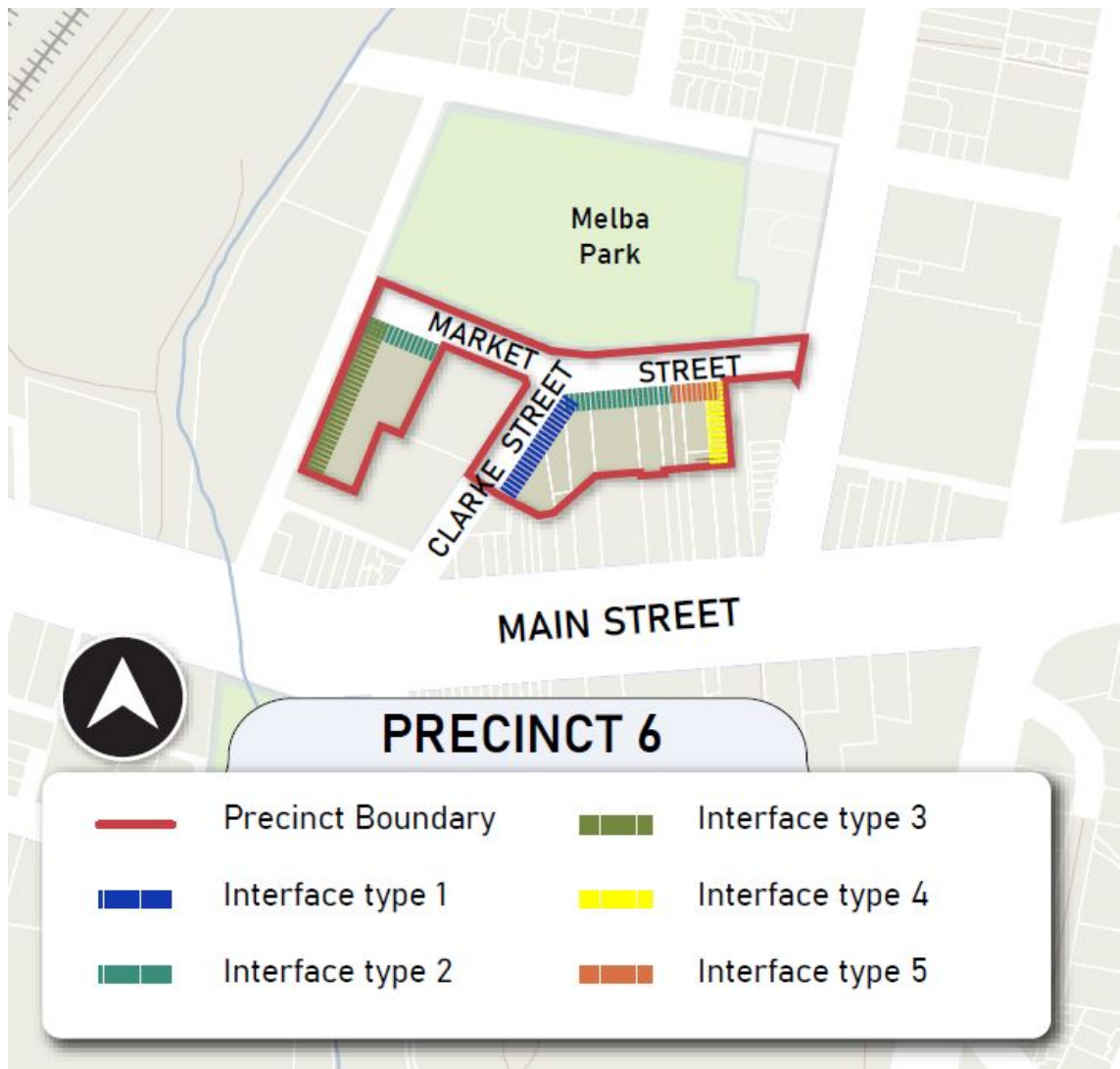
Upgrade John Street to encourage pedestrian traffic and provide a dedicated bikeway lane.

Provide a continuous rear service laneway for parking and waste collection access for residential land uses and commercial loading access, and to increase permeability between mid-rise buildings and improve solar access.

5.6 Precinct 6 – Market Street Mixed Use Precinct

5.6-1 Precinct map





**5.6-2 Precinct objectives**

- To establish Precinct 6 as a focus for community, health and commercial land uses.
- To support higher residential densities in new multi-level mixed use buildings that respond to the interface with Melba Park and the treed public realm within Clarke Street, Castella Street and Anderson Street.
- To improve the pedestrian experience from Main Street to Melba Park by providing an active, retail ground level interface along Clarke Street.
- To protect Clarke Street, and the Olinda Creek Reserve (Lions Park) from inappropriate overshadowing.

**5.6-3 Precinct requirements**

Building Height

Building height should not exceed 21.5m (6 storeys).

Interface Setbacks

## YARRA RANGES PLANNING SCHEME

Interface type	Ground level setback (minimum)	Street wall/podium height	Upper levels setback above podium/street wall (minimum)
1	0m	7.5m (2 storeys)	Stories 3 and 4 setback 6m from front boundary.  Stories 5 and 6 setback 9m from front boundary.
2	0m	7.5m (2 storeys)	Stories 3-6 setback 5m from front boundary.
3	0m	7.5m (2 storeys)	Stories 3-6 setback 3m from front boundary.
4	0m	NA	All levels with no setback
5	0m	7.5m (2 storeys)	Stories 3 and 4 setback 6m from front boundary.  Stories 5 and 6 hidden from view from the footpath on the opposite side of the street.

### 5.6-4 Precinct guidelines

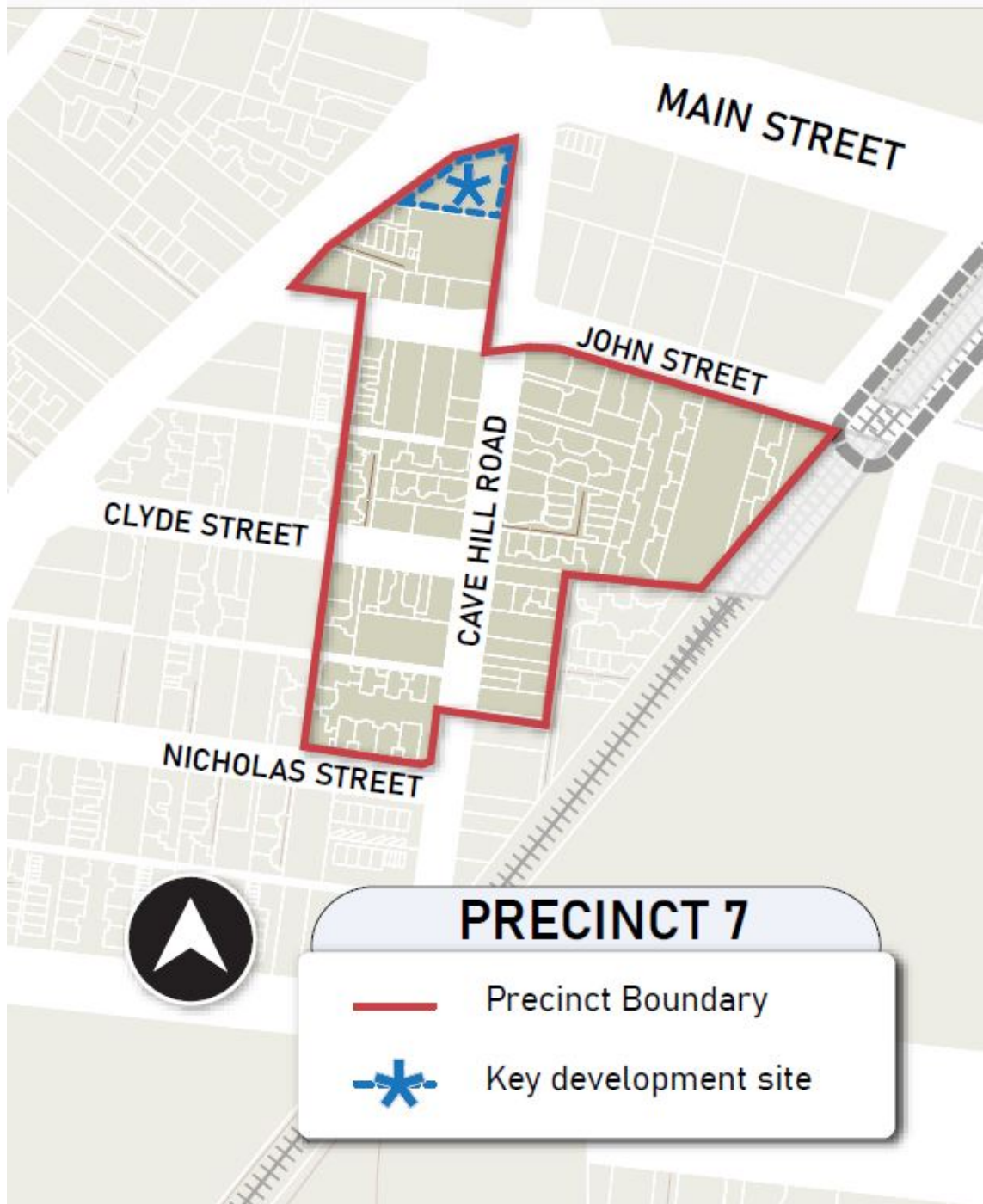
Support retail land uses along Clarke Street to attract pedestrian activity towards Melba Park from Main Street.

Improve visual and physical connections between Main Street and Melba Park.

Encourage development on Market Street that provides ground level retail or commercial activation to Melba Park.

5.7 Precinct 7 – Cave Hill Road South Residential Precinct

5.7-1 Precinct map



5.7-2 Precinct objectives

- To support high and medium-density residential development.
- To ensure new buildings respond sensitively to topography, views and interfaces.
- To encourage site-responsive design on key development sites that respects the residential amenity of neighbouring properties.

5.7-3 Precinct requirements

An application that does not meet the design requirement must demonstrate how the development will achieve the relevant design outcomes.

Development setting	Design requirements		Design Outcome
	<b>Key development site</b>	<b>Other land</b>	
Height	14.5m (4 storeys)	11m (3 storeys)	The scale of higher density housing must complement the preferred neighbourhood character.
Minimum front setback	7.5m (East boundary setback)	The front setback should be no less than the average setback of dwellings on adjoining lots, or 7.5m, whichever is lesser	Space in front setbacks should be provided for landscaping to assist new development to integrate with the streetscape.
Ground level side and rear setbacks	Side (North-west boundary setback): 3m at ground level  Rear (South boundary setback): 6m at ground level	Side setback: 2m  Rear setback: 4m	Adequate space at ground level along side and rear boundaries should be provided for: <ul style="list-style-type: none"> <li>· separation of new development from the built form of neighbouring properties</li> <li>· landscaping opportunities</li> <li>· opportunities for ground-level secluded private open space</li> </ul>
Upper-level side and rear setbacks	Front facade: Upper levels should be setback behind a 45-degree plane above level 2.  Side: Upper levels should be setback 3m above Level 2.  Rear: Clause 55 Standard B17		Upper levels of new development should be recessive and avoid visually dominating the streetscape.  New development should respond sensitively to lower-rise existing buildings.
Site coverage	50%		Adequate ground level spacing around and between built form elements should be provided to mitigate visual bulk and provide landscaping opportunities.

## YARRA RANGES PLANNING SCHEME

Development setting	Design requirements		Design Outcome
Permeability	Clause 55 Standard B8		On-site storm water infiltration should be addressed.
Landscaping	Front setback: 4x medium trees Side setback: small trees Rear setback: small trees	Front setback: 1 x medium tree. Rear and/or side setback: small trees	Adequate landscaping should be provided within setbacks of development sites to assist new buildings to complement preferred neighbourhood character.
Walls on boundaries	Not allowed	Clause 55 Standard B18	Built form must respect the preferred neighbourhood character and limit amenity impacts on neighbouring properties.
Private open space	Clause 55 Standard B28		Adequate private open space should be provided for the reasonable recreation and service needs of residents.
Front fence height	Cave Hill Road frontage: no front fencing Maroondah Highway frontage: 2m maximum	A front fence within 3m of a street frontage should not exceed: <ul style="list-style-type: none"> <li>· Transport Zone 2 interface: 2m</li> <li>· Other streets: No front fencing</li> </ul>	Front fence design on minor roads should contribute to an open front garden character.

### 5.7-4 Precinct guidelines

Encourage the scale and form of higher density development to respond sensitively to surrounding properties.

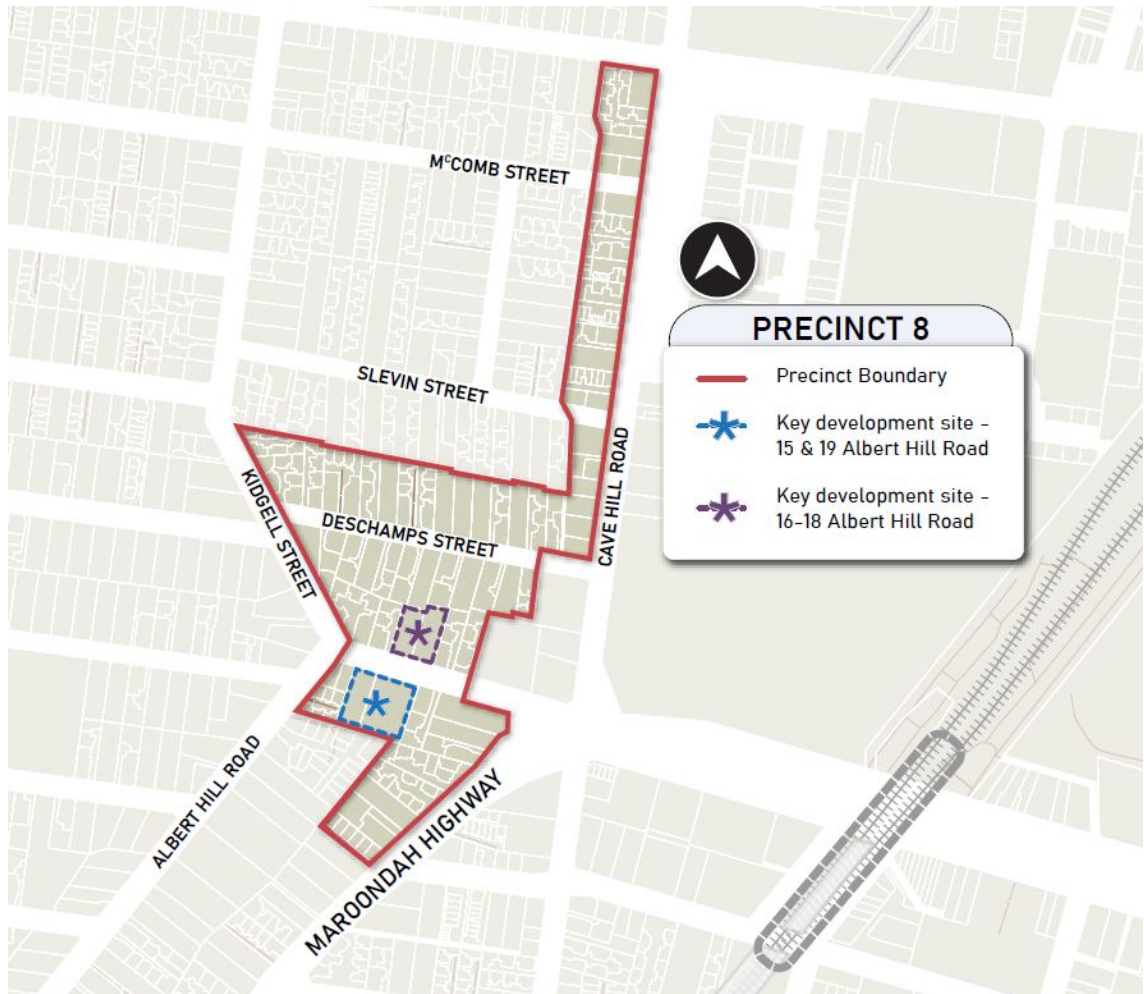
Mitigate the visual bulk of development through design strategies to setback and screen upper levels.

Integrate development into its surroundings through landscape design.

Protect trees within the public realm.

**5.8 Precinct 8 – Cave Hill Road North Residential Precinct**

**5.8-1 Precinct map**



**5.8-2 Precinct objectives**

- To support high and medium-density residential development.
- To support greater housing diversity.
- To ensure new buildings respond sensitively to topography, views and interfaces.
- To encourage site-consolidation of key development sites in order to achieve improved design outcomes that respect the residential amenity of neighbouring properties.

**5.8-3 Precinct requirements**

An application that does not meet the design requirement must demonstrate how the development will achieve the relevant design outcomes.

Development setting	Design requirement		Design outcome
	Key development sites (if site consolidation is achieved)	Other land	



**YARRA RANGES PLANNING SCHEME**

<b>Development setting</b>	<b>Design requirement</b>		<b>Design outcome</b>
Height	14.5m (4 storeys)	11m (3 storeys)	The scale of higher density housing must complement the preferred neighbourhood character.
Minimum front setback	7.5m (East boundary setback)	The front setback should be no less than the average setback of dwellings on adjoining lots, or 7.5m, whichever is lesser	Space in front setbacks should be provided for landscaping to assist new development to integrate with the streetscape.
Ground level side and rear setbacks	Side setback: 3m at ground level Rear setback: 6m at ground level	Side setback: 2m Rear setback: 4m	Adequate space at ground level along side and rear boundaries should be provided for: <ul style="list-style-type: none"> <li>· separation of new development from the built form of neighbouring properties</li> <li>· landscaping opportunities</li> <li>· opportunities for ground-level secluded private open space</li> </ul>
Upper-level side and rear setbacks	Front facade: Upper levels should be setback behind a 45-degree plane above level 2. Side setback: Upper levels should be setback 3m above Level 2. Rear setback: Clause 55 Standard B17		Upper levels of new development should be recessive and avoid visually dominating the streetscape.  New development should respond sensitively to lower-rise existing buildings.
Site coverage	50%		Adequate ground level spacing around and between built form elements should be provided to mitigate visual bulk and provide landscaping opportunities.
Permeability	Clause 55 Standard B8		On-site stormwater infiltration should be addressed.

## YARRA RANGES PLANNING SCHEME

Development setting	Design requirement		Design outcome
Landscaping	Front setback: 4 x medium trees Side setback: small trees Rear setback: small trees	Front setback: 1 x medium tree. Rear and/or side setback: small trees	Adequate landscaping should be provided within setbacks of development sites to assist new buildings to complement preferred neighbourhood character.
Walls on boundaries	Not allowed	Clause 55 Standard B18	Built form must respect the preferred neighbourhood character and limit amenity impacts on neighbouring properties.
Private open space	Clause 55 Standard B28		Adequate private open space should be provided for the reasonable recreation and service needs of residents.
Front fence height	No front fencing	A front fence within 3m of a street frontage should not exceed: · Transport Zone 2 interface: 2m · Other streets: No front fencing	Front fence design on minor roads should contribute to an open front garden character.

### 5.8-4

#### **Precinct guidelines**

Encourage the scale and form of higher density development to respond sensitively to surrounding properties.

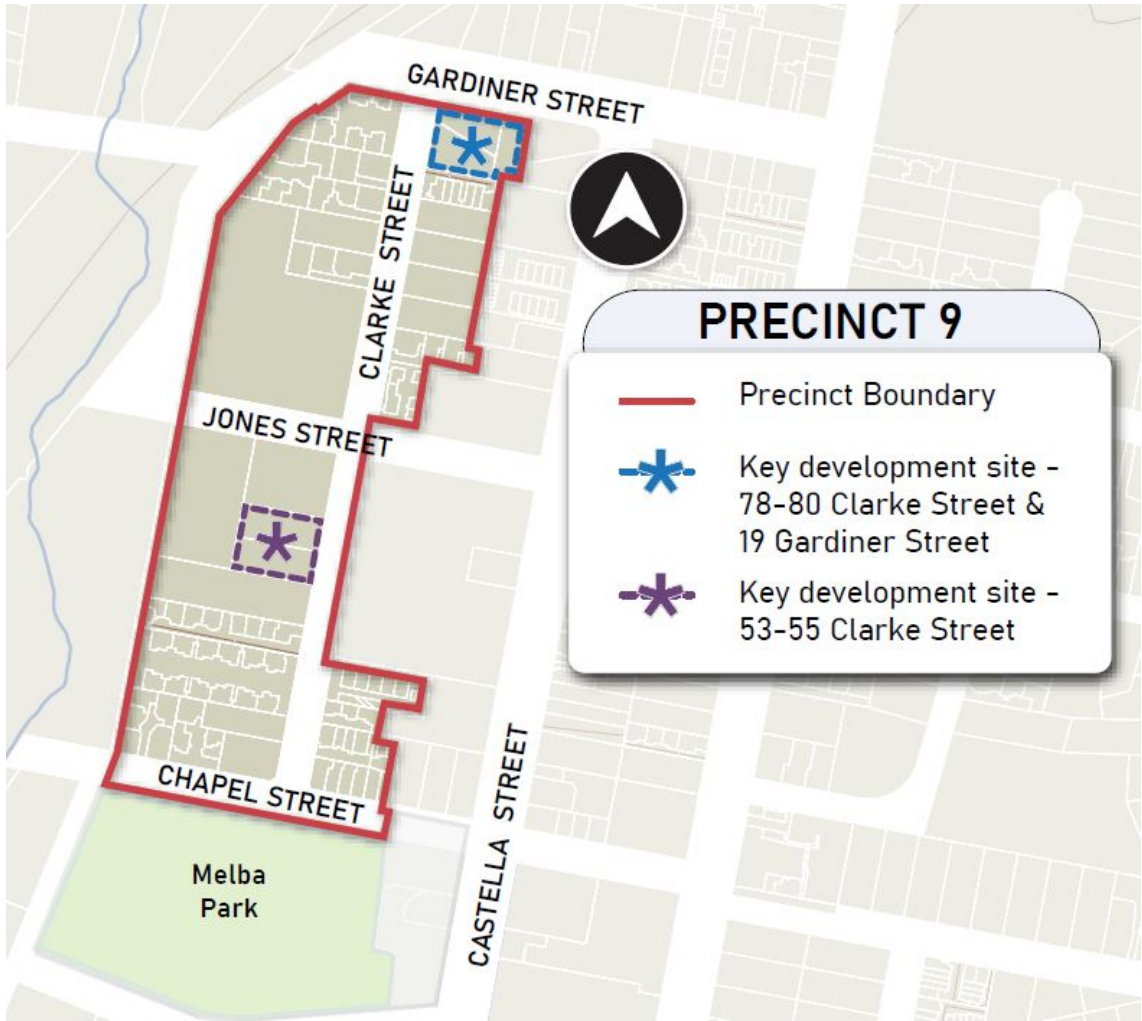
Mitigate the visual bulk of development through design strategies to setback and screen upper levels.

Integrate development into its surroundings through landscape design.

Protect trees within the public realm.

**5.9 Precinct 9 – Clarke Street Residential Precinct**

**5.9-1 Precinct map**



**5.9-2 Precinct objectives**

- To support high and medium-density residential development.
- To ensure new buildings respond sensitively to topography, views and interfaces.
- To encourage site-consolidation of key development sites in order to achieve improved design outcomes that respect the residential amenity of neighbouring properties.

**5.9-3 Precinct requirements**

An application that does not meet the design requirement must demonstrate how the development will achieve the relevant design outcomes.

Development setting	Design requirement		Design outcome
	Key development sites (if site consolidation is achieved)	Other land	

**YARRA RANGES PLANNING SCHEME**

<b>Development setting</b>	<b>Design requirement</b>		<b>Design outcome</b>
Height	14.5m (4 storeys)	11m (3 storeys)	The scale of higher density housing must complement the preferred neighbourhood character.
Minimum front setback	7.5m (East boundary setback)	The front setback should be no less than the average setback of dwellings on adjoining lots, or 7.5m, whichever is lesser	Space in front setbacks should be provided for landscaping to assist new development to integrate with the streetscape.
Ground level side and rear setbacks	Side setback: 3m at ground level Rear setback: 6m at ground level	Side setback: 2m Rear setback: 4m	Adequate space at ground level along side and rear boundaries should be provided for: <ul style="list-style-type: none"> <li>· separation of new development from the built form of neighbouring properties</li> <li>· landscaping opportunities</li> <li>· opportunities for ground-level secluded private open space</li> </ul>
Upper-level side and rear setbacks	Front facade: Upper levels should be setback behind a 45-degree plane above level 2. Side setback: Upper levels should be setback 3m above Level 2. Rear setback: Clause 55 Standard B17		Upper levels of new development should be recessive and avoid visually dominating the streetscape.  New development should respond sensitively to lower-rise existing buildings.
Site coverage	50%		Adequate ground level spacing around and between built form elements should be provided to mitigate visual bulk and provide landscaping opportunities.
Permeability	Clause 55 Standard B8		On-site stormwater infiltration should be addressed.

## YARRA RANGES PLANNING SCHEME

Development setting	Design requirement		Design outcome
Landscaping	Front setback: 4 x medium trees Side setback: small trees Rear setback: small trees	Front setback: 1 x medium tree. Rear and/or side setback: small trees	Adequate landscaping should be provided within setbacks of development sites to assist new buildings to complement preferred neighbourhood character.
Walls on boundaries	Not allowed	Clause 55 Standard B18	Built form must respect the preferred neighbourhood character and limit amenity impacts on neighbouring properties.
Private open space	Clause 55 Standard B28		Adequate private open space should be provided for the reasonable recreation and service needs of residents.
Front fence height	No front fencing	A front fence within 3m of a street frontage should not exceed: · Transport Zone 2 interface: 2m · Other streets: No front fencing	Front fence design on minor roads should contribute to an open front garden character.

### 5.9-4 Precinct guidelines

Encourage the scale and form of higher density development to respond sensitively to surrounding properties.

Mitigate the visual bulk of development through design strategies to setback and screen upper levels.

Integrate development into its surroundings through landscape design.

Protect trees within the public realm.

### 6.0 Application requirements

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Proposed C218yran

The following application requirements apply to an application for a permit under Clause 37.08, in addition to those specified in Clause 37.08 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

#### Subdivision

An application to subdivide land must be accompanied by the following information, as appropriate:

- In Precincts 7-9, a response to Clause 56, including a site and context description and design response as required by Clause 56.01.

#### Buildings and works

An application to construct a building or construct or carry out works must be accompanied by the following information, as appropriate:

### **Precinct 1-6**

- An urban context report and design response to show how the site responds to its site and context for an application to:
  - Construct or extend an apartment development.
  - Construct or extend a commercial building over 2 stories in height.
  - Construct or extend a mixed-use building over 2 stories in height.
- For all applications over three stories in height, a 3D massing model which describes a building envelope that shows how the overshadowing impact to the public realm acceptably responds to the thresholds contained in Part 5 Precinct Requirements.
- For a publicly accessible building, an access and inclusion report confirming the development complies with the Disability Discrimination Act 1992.
- Details of vehicle crossings and road connections to the adjoining street network, including how the proposal contributes to required mid-block pedestrian and vehicle connections shown in Part 5 Precinct Maps.
- A Construction Management Plan including details of:
  - Access, fencing, management and disposal arrangements during construction.
  - Methods to manage earthworks, stockpiles and stormwater runoff so as to prevent any entry of sediment and other contaminants to the Olinda Creek.
  - Traffic management and parking
- A Waste Management Plan which demonstrates, as appropriate:
  - Likely waste generation by users of the building
  - Provision and allocation of bins for garbage, recycling, and green waste.
  - The location and dimensions of bin storage areas and chutes, including access points for collection
  - The proposed method and frequency of waste collection
- For land directly adjoining land in Precincts 7-9, an assessment of overlooking in accordance with Clause 54.04-6 or Clause 55.04-6, as appropriate.

### **Precinct 7-9**

- A neighbourhood and site description and design response as required in Clause 54.01 or 55.01, as appropriate, for an application to:
  - Construct or extend one dwelling on a lot of less than 300 square metres.
  - Construct a dwelling if there is at least one dwelling existing on the lot.
  - Construct two or more dwellings on a lot.
  - Extend a dwelling if there are two or more dwellings on the lot.

- Construct or extend a dwelling on common property.
- Construct or extend a residential building.
- An assessment of overlooking in accordance with Clause 54.04-6 or Clause 55.04-6, as appropriate.

If in the opinion of the responsible authority an application requirement is not relevant to the evaluation of an application, the responsible authority may waive or reduce the requirement.

## 7.0 Notice and review

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Proposed C218yran

An application for the following is not exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act.

- To use land, subdivide land, or to construct or carry out buildings and works in Precincts 7, 8, or 9, or on land directly adjoining Precincts 7, 8, or 9.

Note: Exemption from notice and review applies to all applications unless specified otherwise by the schedule to the zone.

## 8.0 Decision guidelines

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Proposed C218yran

The following decision guidelines apply to an application for a permit under Clause 37.08, in addition to those specified in Clause 37.08 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- The impact of development on:
  - Long-range views from key-view vantage points (see Framework Plan).
  - The preservation of heritage trees and streetscapes.

### Precinct 1-6

- Whether the proposal will result in the fragmentation of sites.
- For applications for licensed venues, the likely social and amenity impacts of the proposal on the surrounding area.
- For land adjoining a Heritage Overlay, whether the proposed building height and form will compromise the prominence of the heritage place as seen in the streetscape.

## 9.0 Signs

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Proposed C218yran

Sign requirements are at Clause 52.05. All land located within Precincts 1,2,3, and 4 is in Category 1. All other land is in Category 3.

## 10.0 Other provisions of the scheme

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Proposed C218yran

None specified

## 11.0 Reference documents

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Proposed C218yran

*Lilydale Major Activity Centre Structure Plan (Mesh, June 2022)*